

Les Mccaskey Architectural Design Services.
18A Rothesay Place
Edinburgh
EH3 7SQ

Mr Aamir Chaudry.
1 Sighthill Avenue
Edinburgh
EH11 4QU

Decision date: 23 October 2020

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Attic conversion incorporating dormer windows to front and side of property
At 1 Sighthill Avenue Edinburgh EH11 4QU

Application No: 20/03600/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 28 August 2020, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01, 02, 03, 04, 05, 06, 07, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The scale, form and position of the side dormer fails to respect the established form of the existing property harmful to its character and appearance. It is an incompatible and incongruous addition to the streetscene detrimental to the existing neighbourhood character. The proposal is contrary to Edinburgh Local Development Plan policy Des 12 (Alterations and Extensions) and the non-statutory guidance.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Lewis McWilliam directly at lewis.mcwilliam@edinburgh.gov.uk.

D R Leech

Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

Application for Planning Permission 20/03600/FUL At 1 Sighthill Avenue, Edinburgh, EH11 4QU Attic conversion incorporating dormer windows to front and side of property

Item	Local Delegated Decision
Application number	20/03600/FUL
Wards	B07 - Sighthill/Gorgie

Summary

The scale, form and position of the side dormer fails to respect the established form of the existing property harmful to its character and appearance. It is an incompatible and incongruous addition to the streetscene detrimental to the existing neighbourhood character. The proposal is contrary to Edinburgh Local Development Plan policy Des 12 (Alterations and Extensions) and the non-statutory guidance.

Links

Policies and guidance for this application	LDPP, LDES12, NSG, NSHOU,
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Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below.

Background

2.1 Site description

The proposal relates to an upper flat in a four in a block property on the east side of Sighthill Avenue in a residential area.

2.2 Site History

There is no relevant planning history for this site.

Main report

3.1 Description Of The Proposal

The application proposes the following works;

-Front dormer and side dormer

Permitted Development

Installation of new first floor window (west elevation) and rooflights (east elevation) :
These works are permitted development under Class 4A of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended). No assessment of their merits is therefore required as part of this planning application.

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) The scale, form and design is acceptable
- b) There would be no unreasonable loss to neighbour's residential amenity
- c) Any public comments have been addressed

a) Scale, form, design and neighbourhood character

Edinburgh Local Development Plan (LDP) policy Des 12 (alterations and extensions) states that permission will be granted for alterations and extensions that in design, form, material and position are compatible with the character of the existing building and will not be detrimental to the neighbourhood character.

In regard to dormers, the non-statutory guidance states these should be of a size that do not dominate the form of the roof. They should not come to the edge of the roof and leave visible expanses on all four sides.

Dormers on side elevations will be considered acceptable where it can be demonstrated that the proposal fits in well with the character of the surrounding area.

Front dormers should be no greater than one third of the average roof width.

The proposal site is an upper floor flat, part of a four in a block property. The whole building is of a symmetrical form. The hipped roof of no.1 mirrors the adjoining flat to the east and appears uniform in its overall appearance. The form, scale and materials of the building is typical of properties in the surrounding area.

The side dormer's height and outward projection would be disruptive to the symmetrical hipped roof form of the building. As viewed from the street, it would appear a dominant and incongruous addition that fails to respect the existing character of the building. Side dormers are not characteristic of the surrounding area. The scale and position of the dormer would result in a conspicuous intervention on the streetscene that fails to respect the established form of property types in the area. It is therefore an incompatible addition that would be detrimental to the existing neighbourhood character contrary to LDP policy Des 12 and the non-statutory guidance.

The front dormer would cover approximately 34 % of the average roof width, marginally in excess of the guidance. This infringement is marginal and whilst it is recognised the dormer is not set down from the property's ridge, there are existing front dormers of varying scale and form in the wider area. Its position on the principal elevation is centralised over the windows on the lower level, and its hipped roof would reduce its overall mass as viewed from the street. The materials would match the existing roof which is appropriate. In light of the above, this element of the scheme is acceptable on balance and does not justify grounds for refusal of the application in isolation.

b) Neighbouring Amenity

The side dormer faces the applicant's own garden and complies with guidance distance to the boundary. No privacy issues would occur as a result.

The front dormer would overlook the neighbour's front garden. This garden occupies a visible location as existing positioned adjacent to the street. It is already overlooked by the first floor windows and in this regard no new privacy issues would occur as a result of the proposal. A departure from the non-statutory guidance is therefore acceptable in this instance.

No loss of sunlight to garden spaces or daylight to neighbour's windows would occur.

No unreasonable impact on neighbour's amenity would occur as result of the proposal.

c) Public comments

No comments have been received.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Reasons:-

1. The scale, form and position of the side dormer fails to respect the established form of the existing property harmful to its character and appearance. It is an incompatible and incongruous addition on the street scene detrimental to the existing neighbourhood character. The proposal is therefore contrary to Edinburgh Local Development Plan policy Des 12 (Alterations and Extensions) and the non-statutory guidance.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

No representations have been received.

Background reading / external references

- To view details of the application go to
- [Planning and Building Standards online services](#)

Statutory Development

Plan Provision Edinburgh Local Development Plan - Urban Area

Date registered 28 August 2020

Drawing numbers/Scheme 01, 02, 03, 04, 05, 06, 07,
Scheme 1

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Lewis McWilliam, Planning Officer
E-mail:lewis.mcwilliam@edinburgh.gov.uk

Links - Policies

Relevant Policies:

Relevant policies of the Local Development Plan.

LDP Policy Des 12 (Alterations and Extensions) sets criteria for assessing alterations and extensions to existing buildings.

Relevant Non-Statutory Guidelines

Non-statutory guidelines 'GUIDANCE FOR HOUSEHOLDERS' provides guidance for proposals to alter or extend houses or flats.

Appendix 1

Consultations

No consultations undertaken.

END

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100338960-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	les mccaskey architectural design services		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	les	Building Name:	
Last Name: *	mccaskey	Building Number:	18a
Telephone Number: *	07817809327	Address 1 (Street): *	18a
Extension Number:		Address 2:	Rothsay Place
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	Scotland
		Postcode: *	EH3 7SQ
Email Address: *	lesmccaskeyaciob@gmail.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="AAMIR"/>	Building Number:	<input type="text" value="1"/>
Last Name: *	<input type="text" value="CHAUDRY"/>	Address 1 (Street): *	<input type="text" value="SIGHTHILL AVENUE"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="EDINBURGH"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="SCOTLAND"/>
Mobile Number:	<input type="text" value=""/>	Postcode: *	<input type="text" value="EH11 4QU"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value=""/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="1 SIGHTHILL AVENUE"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH11 4QU"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="670785"/>	Easting	<input type="text" value="320092"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

PROPOSED ATTIC CONVERSION COMPRISING DORMER WINDOWS TO BOTH FRONT AND SIDE ELEVATIONS OF PROPERTY

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

REFER TO SUPPORTING STATEMENT

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting Statement Drawings 01p site location plan and existing elevations 02p existing first floor and attic plans 03p first floor and attic plans proposed 04p sections 05p proposed elevations

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

20/03600/FUL

What date was the application submitted to the planning authority? *

28/08/2020

What date was the decision issued by the planning authority? *

23/10/2020

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr les mccaskey

Declaration Date: 04/12/2020

Proposal Details

Proposal Name	100338960
Proposal Description	ATTIC CONVERSION
Address	1 SIGHTHILL AVENUE, EDINBURGH, EH11
4QU	
Local Authority	City of Edinburgh Council
Application Online Reference	100338960-001

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
01p	Attached	A3
02p	Attached	A3
03p	Attached	A3
04P	Attached	A3
05P	Attached	A3
STATEMENT	Attached	A4
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-001.xml	Attached	A0

Notice of Review

In response to the planning authorities reasons for refusal.

The applicant would strongly disagree with and dispute the planning authorities decision for refusal of this application.

It is the applicants strong opinion that the proposed new roof dormer extensions to both the side and front of the property in terms of scale, form and position would certainly not have a detrimental impact on either the property or the surrounding street scene generally.

The applicant would feels that the introduction of said dormer structures would sit comfortably on the existing property roof at both locations.

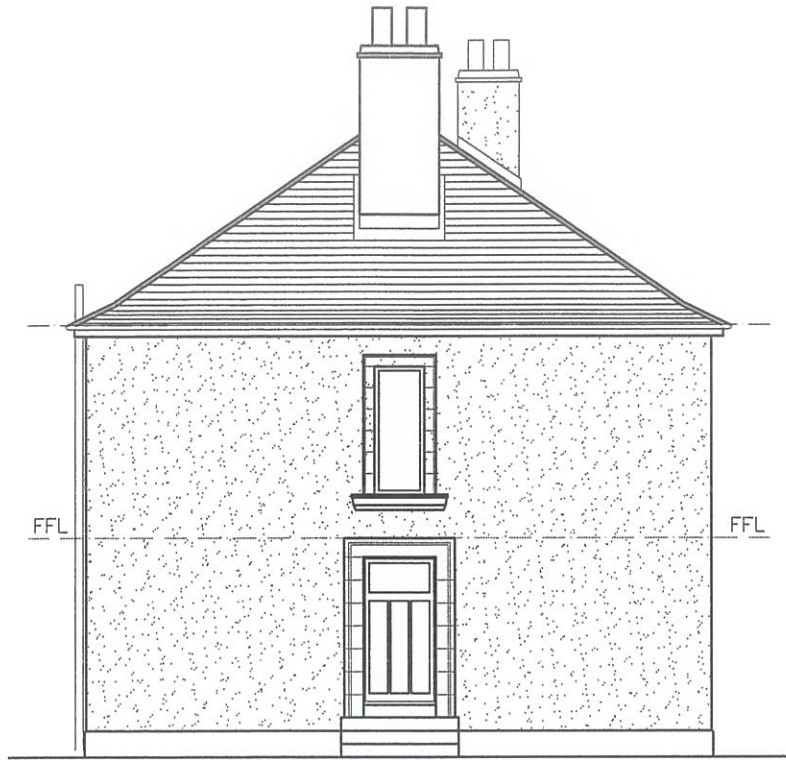
They would not present an overly obtrusive addition as viewed from the adjacent streets or in respect of the surrounding properties and would not be detrimental to the surrounding area in general.

The applicant is of the firm opinion that the proposed new dormers provide the most practical and best way of utilising the space within the property, whilst providing the required additional living accommodation to suit growing family requirements.

The scale, design and materials proposed in respect of extension reflect generally what is currently in place on adjacent properties and would not have a detrimental impact or look out of place.

No public objections or complaints have been submitted in respect of the proposals.

It is hoped that the review board shall look favourably in respect of this appeal and take into consideration the points raised by the applicant in support of his appeal.



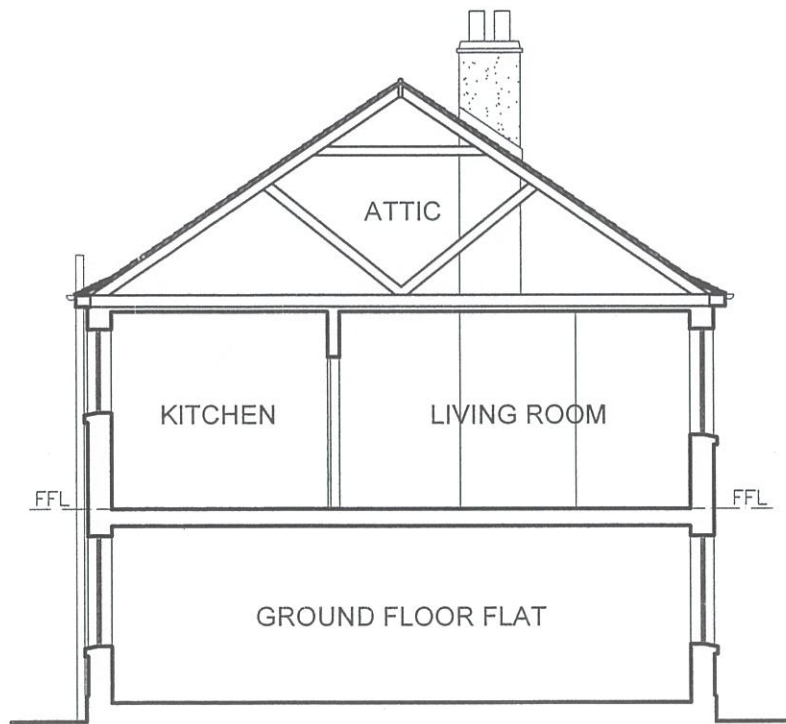
SIDE ELEVATION 1:100



FRONT ELEVATION 1:100



LOCATION PLAN 1:1250



CROSS SECTION 1:100



REAR ELEVATION 1:100

* EXISTING SCATTERED ROOF.

SCALE BAR 1:100



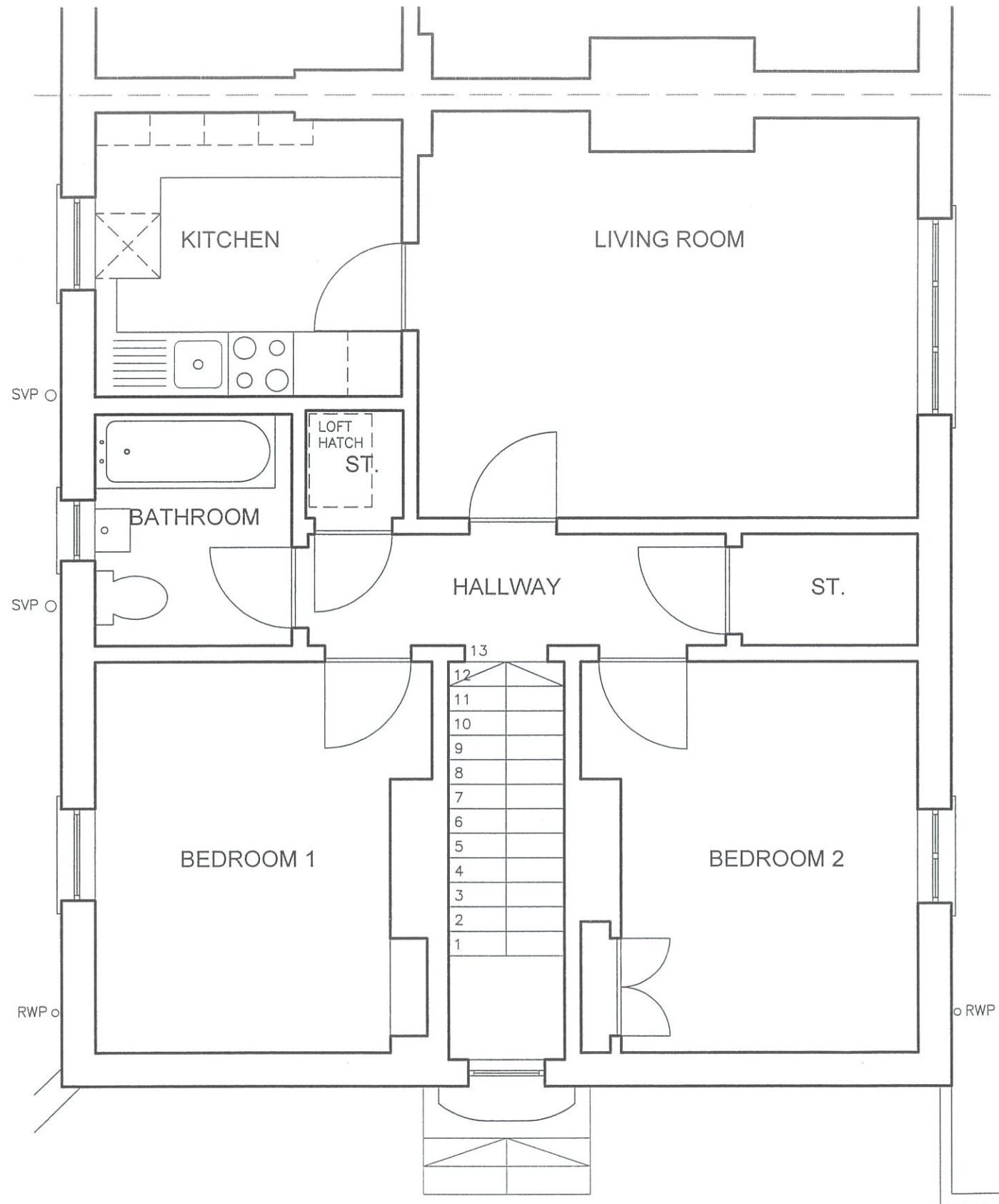
JOB TITLE
PROPOSED LOFT CONVERSION ...AT
1 SIGHTHILL AVENUE
EDINBURGH ...FOR
MR AAMIR CHAUDRY

DRAWING TITLE
SEC/ELEV & LOCATION PLAN

SCALE: 1/100 @ A3
DATE:

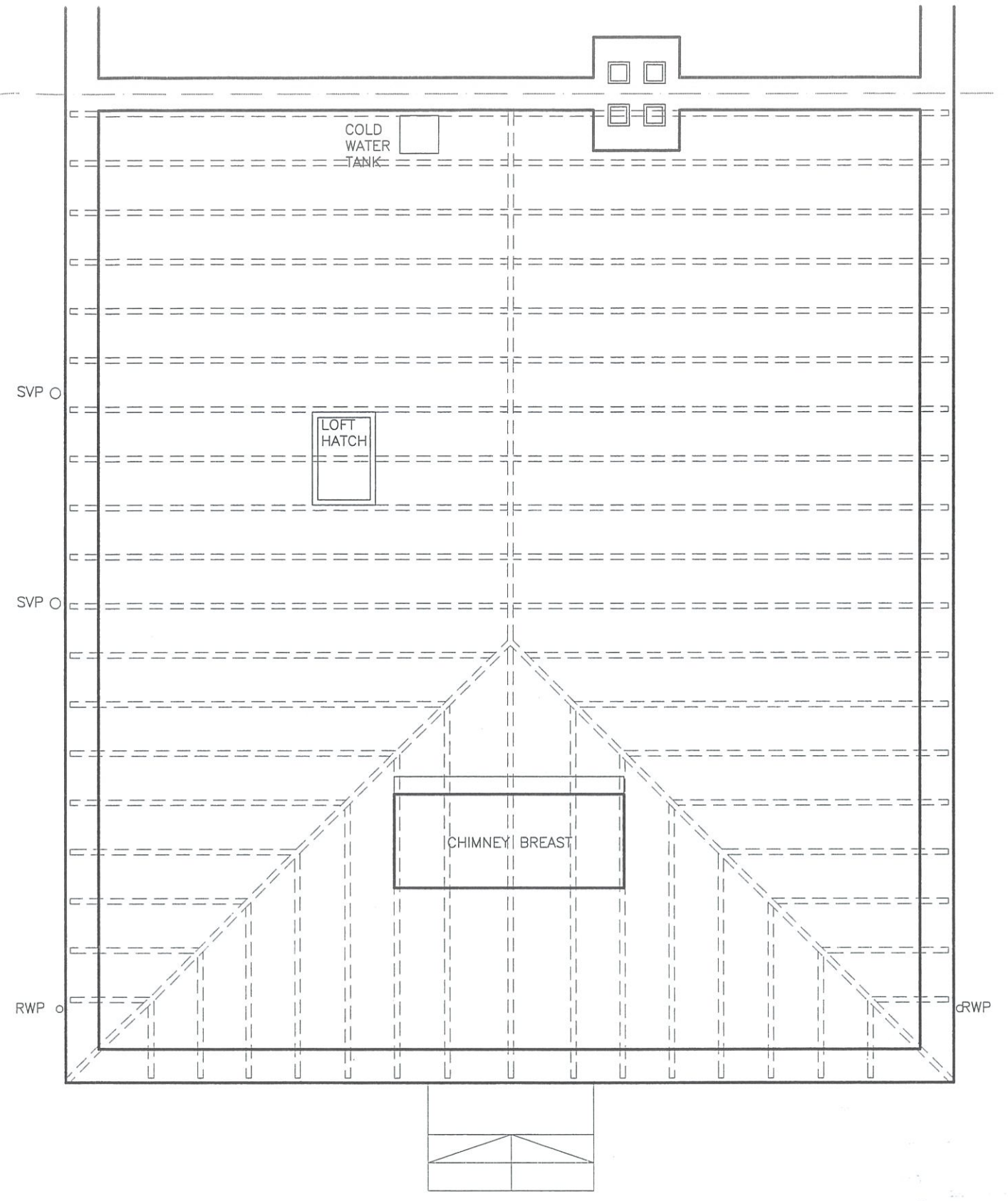
AUGUST 20.

DRAWING NO. SA-01P



FIRST FLOOR PLAN 1:50

SCALE BAR 1:50



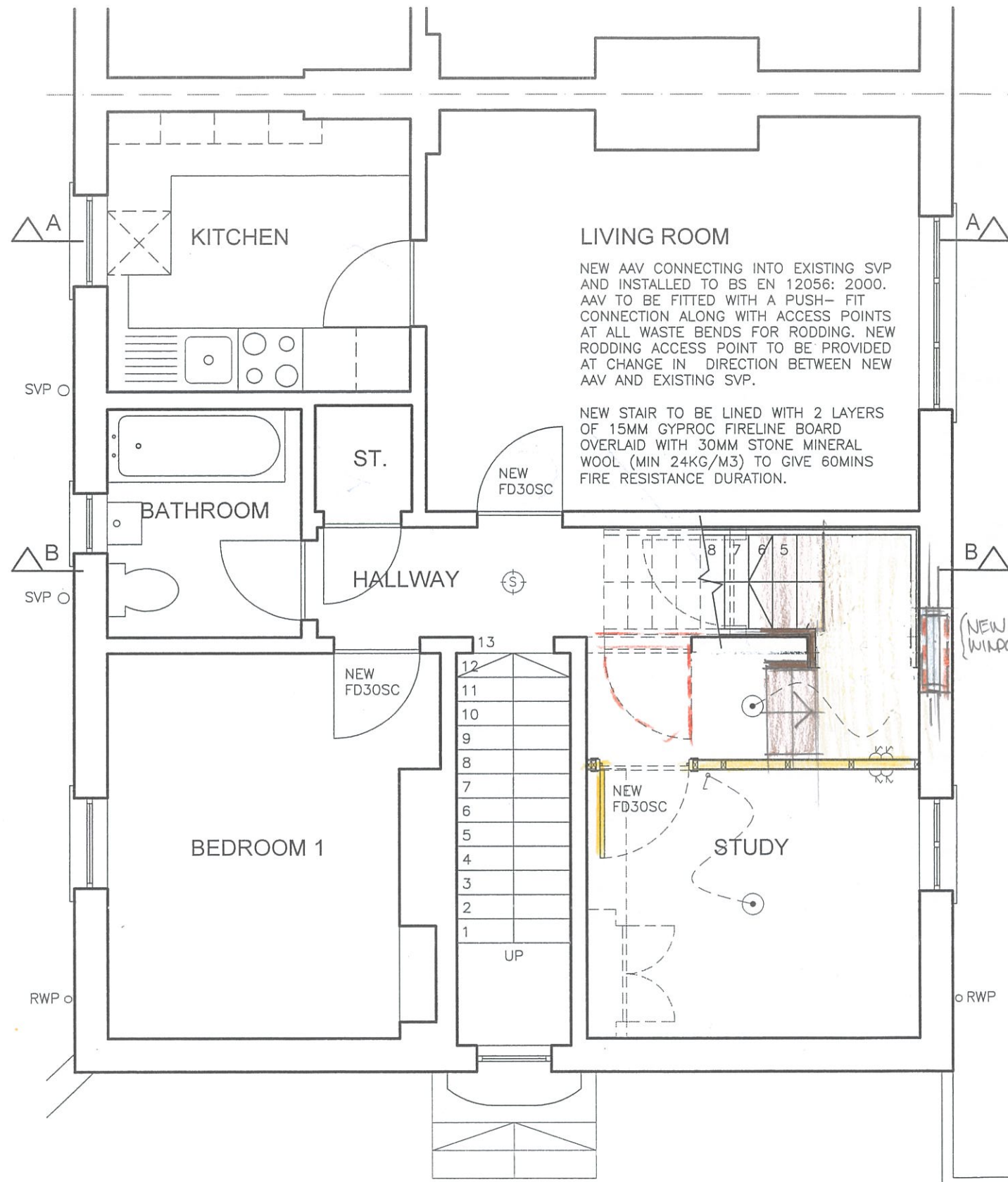
ATTIC FLOOR PLAN 1:50

JOB TITLE:
 PROPOSED LOFT CONVERSION ...AT
 1 SIGHTHILL AVENUE
 EDINBURGH ...FOR
 MR AAMIR CHAUDRY

DRAWING TITLE:
 FLOOR PLANS as existing

SCALE: 1/50 @ A3
 DATE: AUGUST 20.

DRAWING NO. SA-02P.



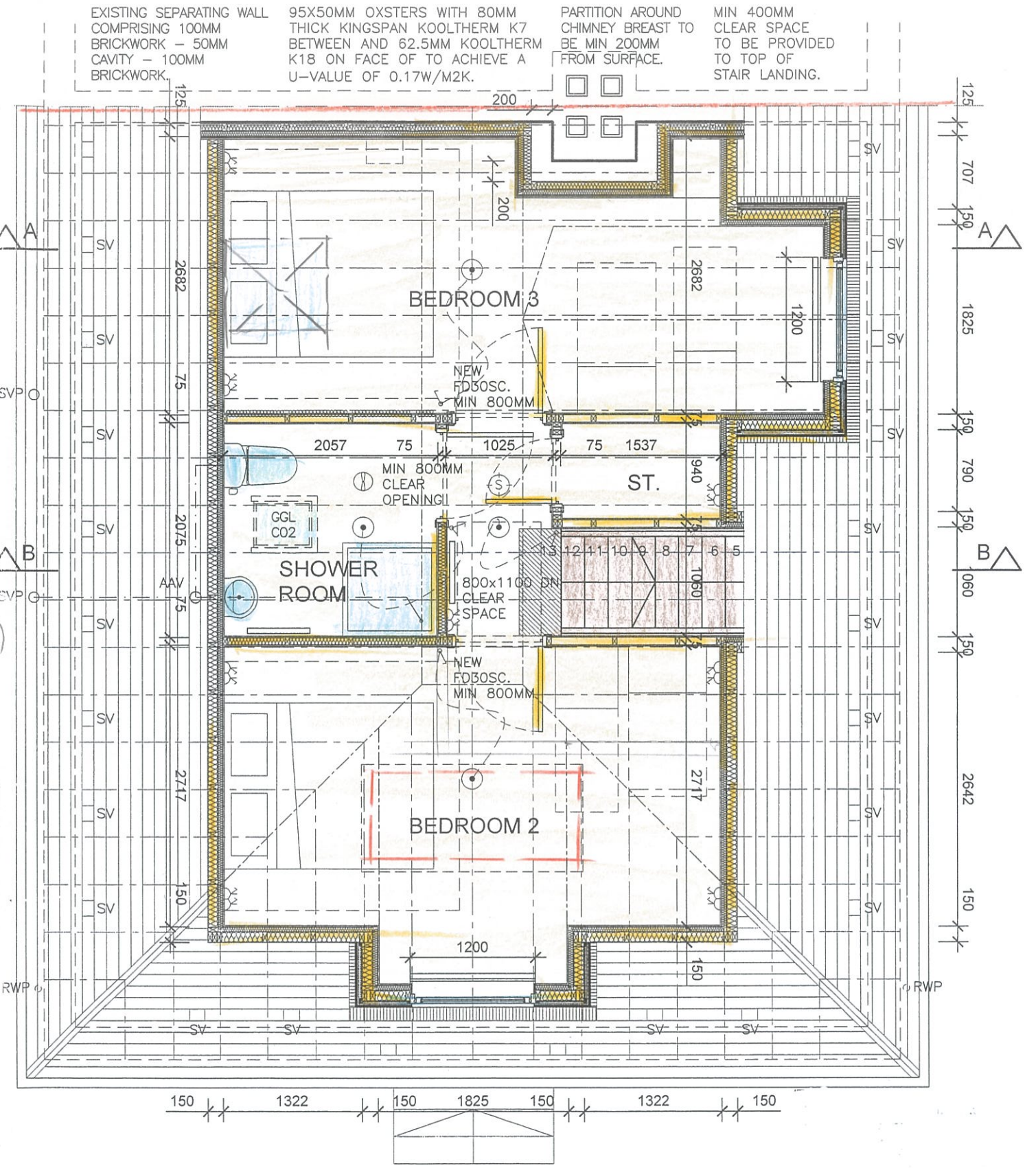
FIRST FLOOR PLAN 1:50

SCALE BAR 1:50



ELECTRICAL KEY

- LIGHT PENDANT
- LIGHT SWITCH
- ⊗ 13A DOUBLE SOCKET
- ⊙ SMOKE DETECTOR
- ⊕ EXTRACT FAN
- ▬ RADIATOR



SECOND FLOOR PLAN 1:50

SEPARATING WALL

3 LAYERS OF TAPERED EDGE PLASTERBOARD (9MM & 2 x 12.5MM) ON 75 x 50MM TIMBER FRAMING @ 600MM MAX CENTRES WITH 75MM THICK KINGSPAN KOOLTHERM K12 BETWEEN AND 62.5MM KOOLTHERM K18 ON FACE OF TO ACHIEVE A U-VALUE OF 0.17W/M²K. 50MM THICK ISOVER ACOUSTIC PARTITION ROLL (APR1200) (MIN DENSITY 12-36KG/M³) FOR ACOUSTIC SEPARATION.

NEW TIMBER STUD PARTITIONS FORMED WITH 75X50MM C16 SW TREATED TIMBER STUDS AT 600MM MAX CENTRES. 12.5MM TAPERED EDGE PLASTERBOARD FIXED TO STUDS. ALL JOINTS TAPED & FILLED. NEW HALF HR FIRE DOORS INTO ALL EXISTING AND NEW BEDROOMS.

JOB TITLE:
 PROPOSED LOFT CONVERSION ...AT
 1 SIGHTHILL AVENUE ...FOR
 EDINBURGH
 MR AAMIR CHAUDRY

DRAWING TITLE:
 FLOOR PLANS as proposed

SCALE: 1/50 @ A3
 DATE:

August 20

DRAWING NO. SA - 03P

EXISTING MAIN ROOF STRUCTURE
 THE EXISTING MAIN ROOF STRUCTURE COMPRISES SLATE ROOFING ON 130X50MM ROOF TRUSSES @ APPROX 450MM CENTRES SUPPORTED ON MASONRY WALLS WITH 115X50MM HORIZONTAL SUPPORTING COLLAR.

ROOF VENTILATION
 NEW MARLEY UNIVERSAL SLATE VENT TERMINALS INSTALLED BETWEEN EXISTING ROOF TRUSSES TO GIVE CONTINUOUS VENTILATION THROUGHOUT. COLOUR TO MATCH EXISTING.

STAIR
 NEW S.W STAIRCASE WITH A MIN 225MM GOING & MAX 220MM RISE (X13) - 40° PITCH. 800MM CLEAR UNOBSTRUCTED WIDTH BETWEEN HANDRAILS. HANDRAILS 900MM ABOVE PITCHED LINE MEASURED VERTICALLY WITH MIN 2000MM HEADROOM.

WATER EFFICIENT FITTINGS
 SHOULD BE PROVIDED TO ALL WCS AND WHBS WITHIN A DWELLING. DUAL FLUSH WC CISTERNS SHOULD HAVE AN AVERAGE FLUSH VOLUME OF NOT MORE THAN 4.5 LITRES. SINGLE FLUSH WC CISTERNS SHOULD HAVE A FLUSH VOLUME OF NOT MORE THAN 4.5 LITRES. TAPS SERVING WASH OR HAND RINSE BASINS SHOULD HAVE A FLOW RATE OF NOT MORE THAN 6 LITRES PER MINUTE. ALL IN ACCORDANCE WITH 3.27 OF THE BUILDING REGULATIONS.

PROPOSED LOFT ROOF STRUCTURE (U-VALUE 0.13W/M2K)
 THE EXISTING ROOF TRUSSES TO BE REINFORCED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATION AND ALSO WHERE NEW VELUX WINDOWS ARE TO BE INSTALLED. A TOTAL OF 125MM THICK "KINGSPAN KOOLTHERM K7" INSULATION BETWEEN ROOF TRUSSES WITH 62.5MM THICK "KINGSPAN KOOLTHERM K18" INSULATED PLASTERBOARD FIXED TO UNDERSIDE OF TRUSSES. ALL INSTALLED IN ACCORDANCE WITH INSTRUCTIONS ISSUED BY KINGSPAN. (WHERE THE CEILING FOLLOWS THE PITCH OF THE ROOF THE RECOMMENDATIONS IN BS5250: 2002 SHOULD BE FOLLOWED). 500 GAUGE VAPOUR BARRIER STAPLED TO TRUSSES WITH 150MM LAPS. MIN 50MM AIR GAP TO BE PROVIDED BETWEEN INSULATION AND SARKING BOARDS AT COOMBE LEVEL.

NEW ATTIC FLOOR
 22MM T & G MOISTURE RESISTANT CHIPBOARD FLOORING FIXED THROUGH TO S.W FLOOR JOISTS TO STRUCTURAL ENGINEERS DETAILS AT MAX 600MM CENTRES. 50X50MM S.W DWANGS FITTED BETWEEN JOISTS AT PERIMETER TO SUPPORT FLOORING. 2 LAYERS OF 12.5MM TAPERED EDGE PLASTERBOARD FIXED TO U/S OF FLOOR JOISTS. ALL JOINTS AMES TAPED, FILLED AND READY FOR DECORATION. DOUBLE TRIMMERS TO FLOOR & TO STAIR OPENING TO S.E DETAILS AND TO BE DOUBLED BELOW ALL NEW STUD PARTITIONS.

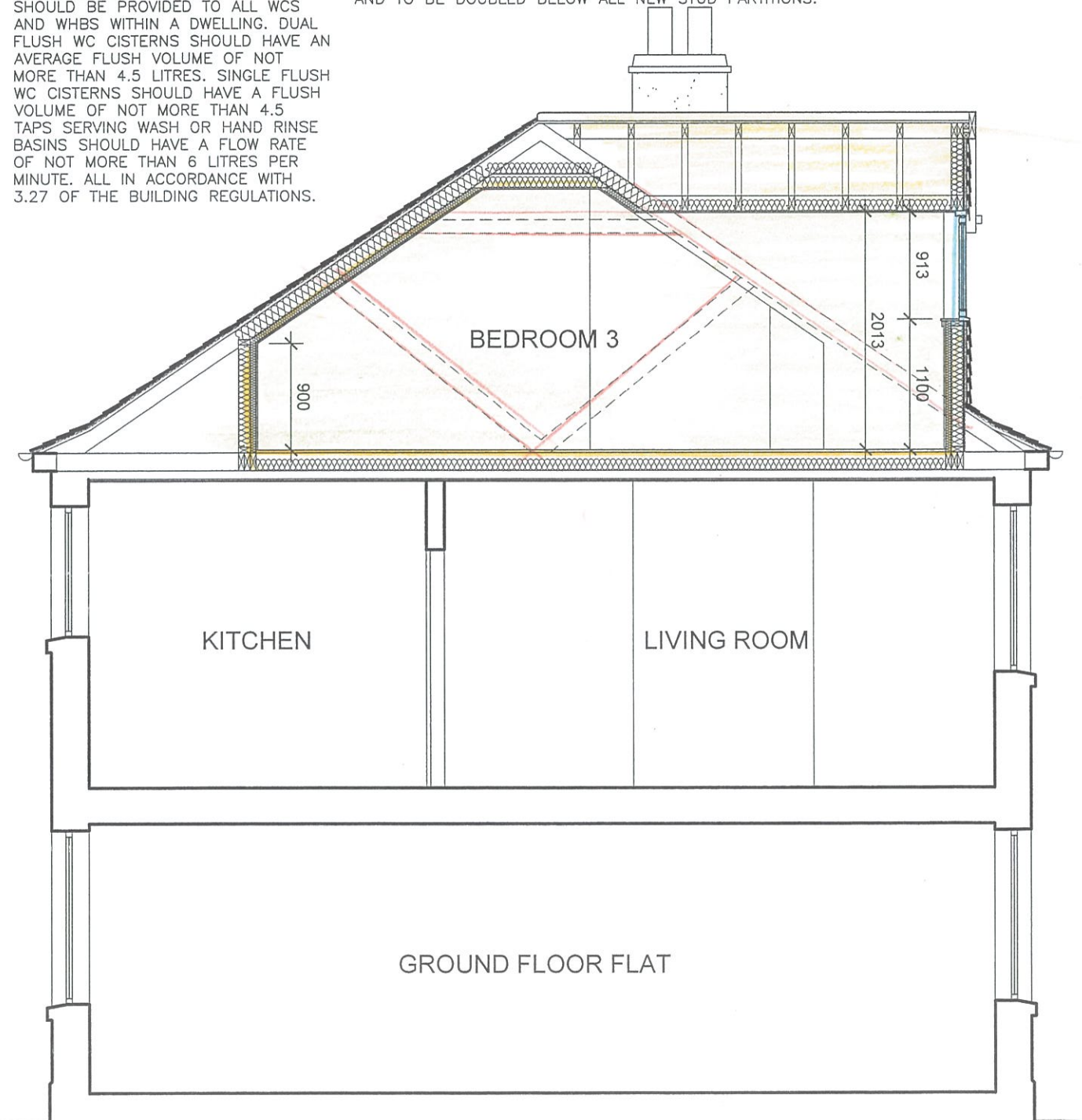
DORMER ROOF CONSTRUCTION (U-VALUE 0.11W/M2K)
 TYPICAL ROOF SECTION DETAIL AND SUPPORTED ON TIMBER WALL CONSTRUCTION WITH FINISHES TO MATCH EXISTING. TRIMMING JOISTS AND RAFTERS SUPPORTING DORMER ROOFS TO S/ENGINEERS DETAILS AND CALCULATIONS. DOUBLE GLAZED WINDOW AND MEANS OF ESCAPE OPENINGS. CODE 5 LEAD FLASHINGS WITH HIGH & LOW LEVEL ROOF VENTS.

BOTTOM OPENING OF NEW VELUX WINDOWS TO BE MIN 1100MM FROM FLOOR LEVEL. TRICKLE VENTILATORS TO NEW ROOF WINDOWS TO BE POSITIONED MIN 1750MM FROM FLOOR LEVEL.

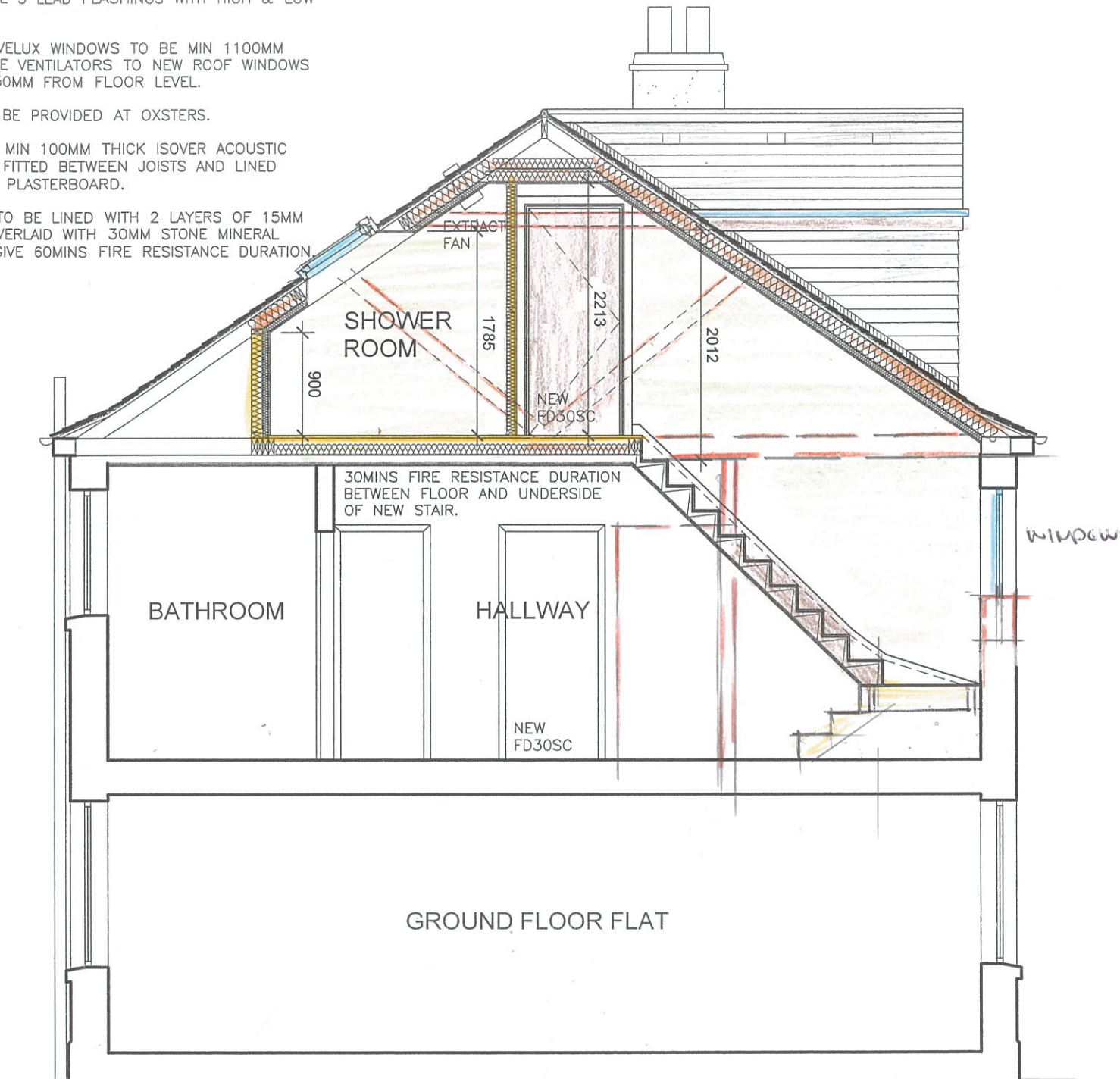
NEW VAPOUR BARRIERS TO BE PROVIDED AT OXSTERS.

NEW ATTIC FLOOR TO HAVE MIN 100MM THICK ISOVER ACOUSTIC PARTITION ROLL (APR1200) FITTED BETWEEN JOISTS AND LINED WITH 2 LAYERS OF 12.5MM PLASTERBOARD.

UNDERSIDE OF NEW STAIR TO BE LINED WITH 2 LAYERS OF 15MM GYPROC FIRELINE BOARD OVERLAID WITH 30MM STONE MINERAL WOOL (MIN 24KG/M3) TO GIVE 60MINS FIRE RESISTANCE DURATION



SECTION A-A 1:50



SECTION B-B 1:50

SCALE BAR 1:50



REMOVALS

JOB TITLE:
 PROPOSED LOFT CONVERSION ...AT
 1 SIGHTHILL AVENUE
 EDINBURGH ...FOR
 MR AAMIR CHAUDRY

DRAWING TITLE:
 SECTIONS A-A & B-B as proposed

SCALE: 1/50 @ A3
 DATE: *11/05/20*

DRAWING NO. *SA -04P*

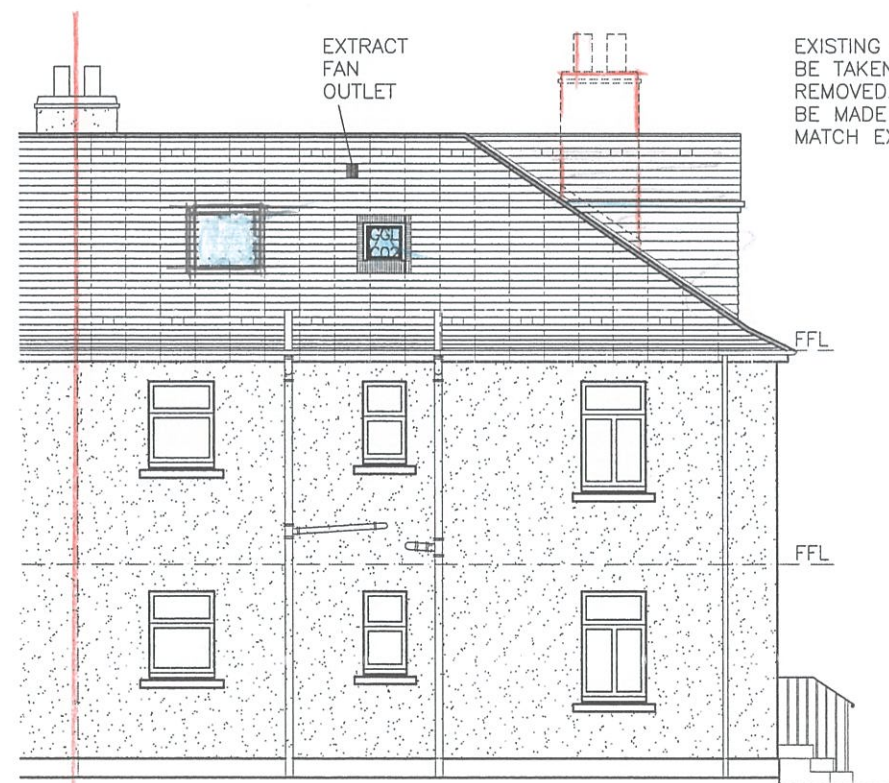


SIDE ELEVATION 1:100

□ SV - INDICATES NEW MARLEY UNIVERSAL SLATE VENT TERMINAL AT TOP AND BOTTOM OF ROOF - MAX 600MM CENTRES.



FRONT ELEVATION 1:100



REAR ELEVATION 1:100

SCALE BAR 1:100



* DORMERS WALLS/ROOF - SCATTERED FINISH

SPECIFICATION

DRAINAGE

THE EXISTING DRAINAGE SYSTEM IS A COMBINED SYSTEM. UPVC FITTINGS - SHWR/WHB 42MM DIA WASTE WITH 75MM TRAP - WC 100MM WASTE WITH 100MM TRAP. ALL CONNECTING INTO NEW AIR ADMITTANCE VALVE WHICH WILL CONNECT INTO EXISTING SVP STACK. ALL SANITARY/WASTE WATER DRAINAGE TO BS EN 12056-2: 2000.

TIMBER PARTITIONS

75X45MM C16 S.W TREATED TIMBER STUDS @ 600MM CENTRES. 50MM THICK KNAUF EARTHWOOL ACCOUSTIC INSULATION BETWEEN STUDS WHERE ADJOINING NEW SHOWEROOM. 12.5MM TAPERED EDGED PLASTERBOARD FIXED TO STUDS. ALL JOINTS TAPED & FILLED.

FIRE PRECAUTIONS

ALL DOORS TO STAIRWAY SERVING HABITABLE ROOMS TO BE FD30SC FIRE DOORS GIVING A 30 MIN FIRE RESISTANCE DURATION & FITTED WITH INSTUMESCENT SMOKE SEALS. 2NR. LAYERS OF 15MM FIRELINE BOARD TO UNDERSIDE OF STAIRCASE TO GIVE 60MINS FIRE RESISTANCE DURATION. MAINS OPERATED, SELF CONTAINED AND INTER LINKED SMOKE DETECTORS TO BE PROVIDED AT EACH LANDING.

ELECTRICAL INSTALLATION

ALL ELECTRICAL WORK TO BE DESIGNED, CONSTRUCTED, INSTALLED & TESTED IN ACCORDANCE WITH BS 7671:2008. ALL SOCKET OUTLETS TO BE POSITIONED AT LEAST 350MM FROM ANY INTERNAL CORNER, PROJECTING WALL OR SIMILAR OBSTRUCTION AND NOT MORE THAN 1.2M ABOVE FLOOR LEVEL.

HEATING

EXTEND EXISTING CENTRAL HEATING SYSTEM TO NEW AREAS. NEW RADIATORS FITTED WITH THERMOSTATIC RADIATOR VALVES WITH PIPEWORK INSULATED TO NON HEATED LOCATIONS. ALL NEW HOT WATER PIPES TO BE INSULATED AGAINST HEAT LOSS COMPLYING WITH BS 5422: 2009.

NATURAL & MECHANICAL VENTILATION

NEW BEDROOMS: VIA VELUX WINDOW VENT WHICH IS 1/30 OF THE FLOOR AREA.
NEW SHOWEROOM: VIA MECHANICAL EXTRACT FAN PROVIDING AT LEAST 15L/SEC.

VELUX ROOF WINDOWS

NEW GGL M06 (1180H X 780W) ROOF WINDOWS TO NEW BEDROOMS AND NEW GGL C02 (780H X 550W) TO NEW SHOWEROOM. TRIM OUT WITH DOUBLE RAFTERS TOP & BOTTOM WHERE REQUIRED FOR NEW VELUX WINDOWS. WINDOWS TO BE INSTALLED TO MANUFACTURERS WRITTEN INSTRUCTIONS.

MANUAL CONTROLS

OUTLETS AND CONTROLS OF ELEC FIXTURES TO BE POSITIONED MIN 350MM FROM INTERNAL CORNERS OR ANY OBSTUCTIONS, NOT MORE THAN 1.2M ABOVE FFL. LIGHT SWITCHES TO BE POSITIONED BETWEEN 900MM AND 1100MM ABOVE FFL. SOCKETS TO BE MIN 400MM FROM FFL. MANUAL CONTROLS TO OPENABLE WINDOWS TO BE MAX 1.7M FROM FFL. ANY MANUAL CONTROLS FOR WINDOWS ABOVE THIS LEVEL TO BE ACCESS USING A REACHING AID OR POLE.

JOB TITLE.
PROPOSED LOFT CONVERSION ...AT
1 SIGHILL AVENUE ...FOR
EDINBURGH ...FOR
MR AAMIR CHAUDRY

DRAWING TITLE.
ELEVATIONS as proposed

SCALE. 1/100 @ A3
DATE AUGUST 20

DRAWING NO. SA - 05P